

NEW BAYSHORE FITNESS CENTER & CANOE CLUB

SITE LOCATION – 2 GARNER LANE, BAYSHORE, NY 11706

INTRODUCTION:

THE TOWN OF ISLIP HAS CONTRACTED YOUR FIRM TO DESIGN AND PREPARE THE SITE AND BUILDING CONSTRUCTION DRAWING SETS AND PRESENTATION DRAWINGS FOR A NEW FITNESS CENTER AND CANOE CLUB LOCATED AT 2 GARNER LANE, BAY SHORE, NY. THE PROJECT WILL BE CONSTRUCTED ON A VACANT WATERFRONT PARCEL REQUIRING FULL SITE DEVELOPMENT. THEIR GOAL FOR YOUR COMPANY IS TO DESIGN A NEW FACILITY THAT WILL BE SITE SPECIFIC WHILE HAVING CONTEXT TO ITS SURROUNDINGS YET BE A NEW MODERN SUSTAINABLE LANDMARK FOR THEIR TOWN. AT A MINIMUM A GREEN ROOF WITH DIRECT CAFÉ ACCESS IS REQUIRED. YOUR CLIENT IS SEEKING A BUILDING THAT IS INNOVATIVE.

STUDENT:

BRYAN ZADIK

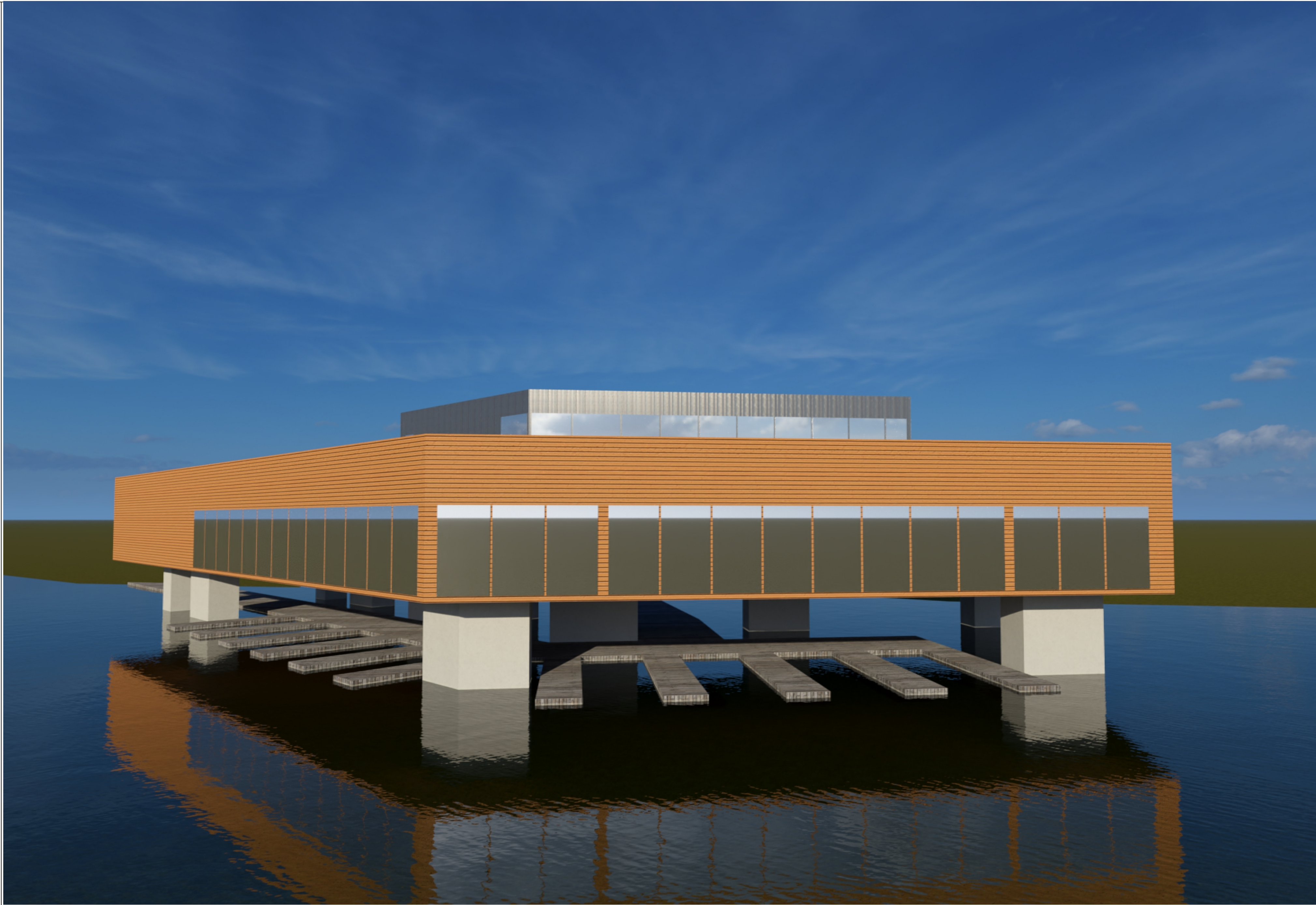
INSTRUCTOR:

ORLA SMYTH LOPICCOLO
M. ARCH, PDIP (CM), CPHD
ARCHITECT & PROFESSOR

COURSE:

ARCHITECTURAL DESIGN V
FALL 2025

SHEET INDEX	
SHEET NUMBER	SHEET NAME
C-101	COVER PAGE
C-102	GENERAL NOTES
C-103	EXISTING/DEMOLITION SITE PLAN
C-104	PROPOSED SITE PLAN
C-105	CUT & FILL
C-106	GRADING, DRAINAGE, & SEPTIC PLAN
C-107	LANDSCAPING PLAN
C-108	DETAILS



DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

FITNESS CENTER & CANOE CLUB

PROJECT INFORMATION:
PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025

COVER PAGE

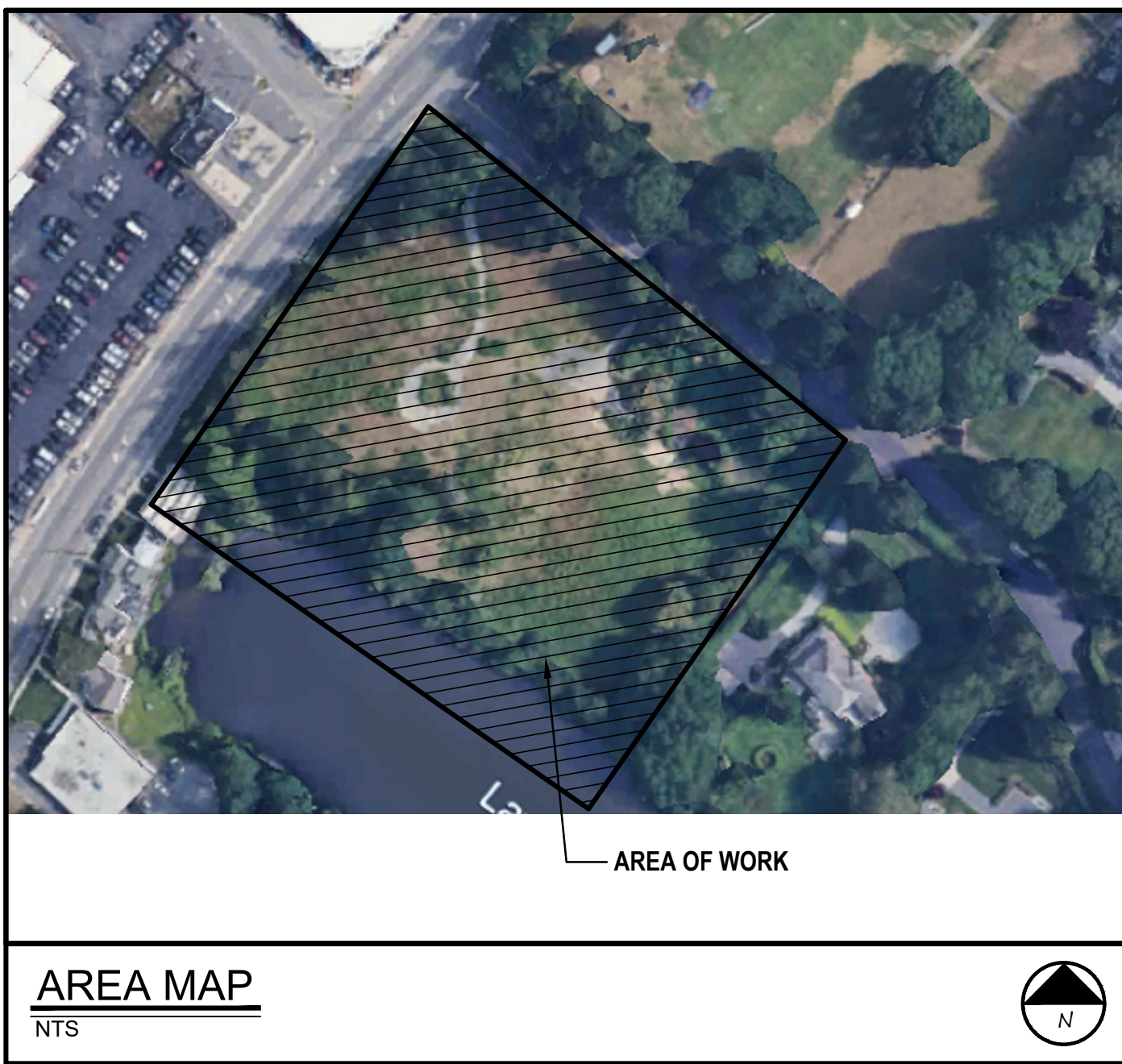
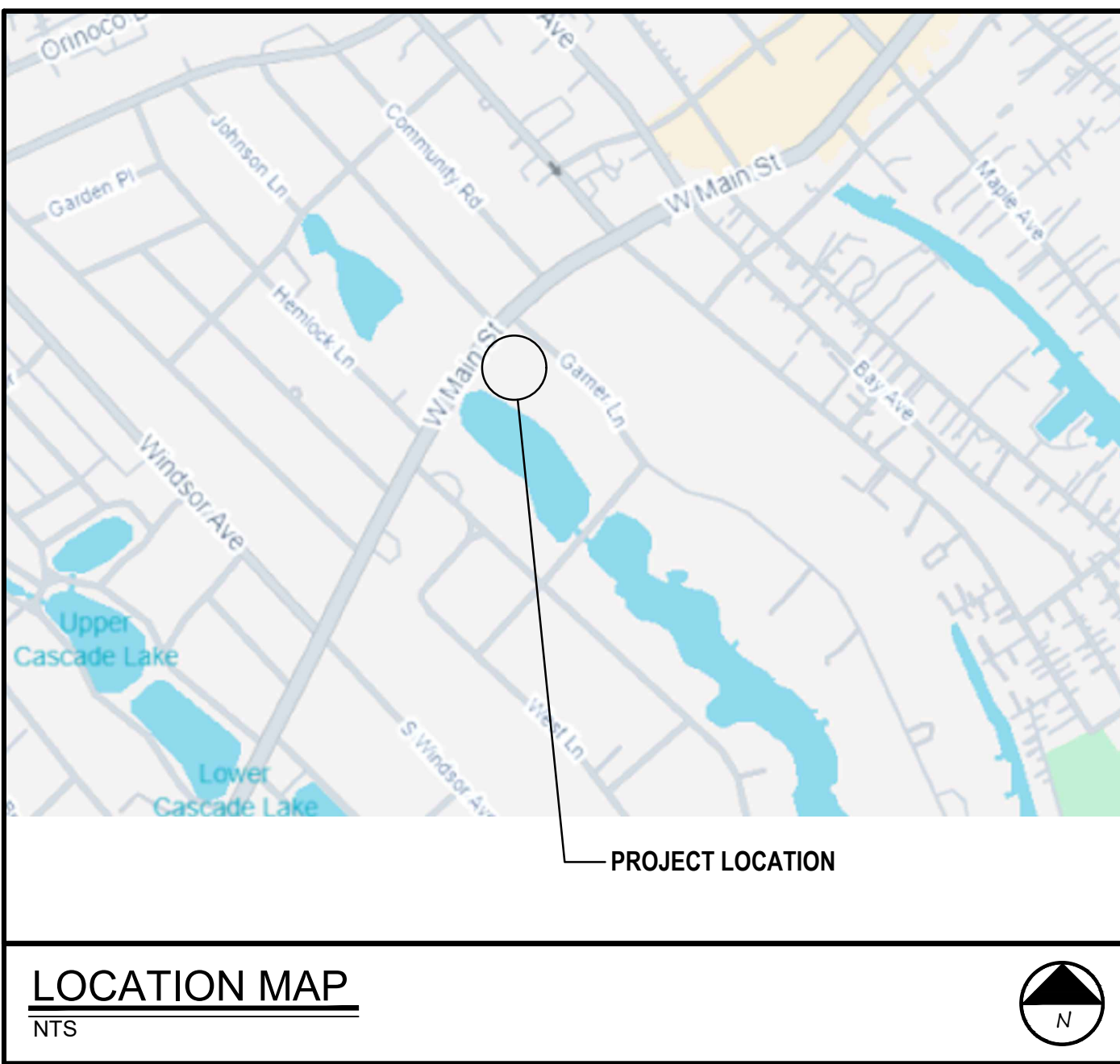
C-101

GENERAL NOTES - SITE PLAN

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE NEW YORK STATE BUILDING CODE, FIRE CODE, ENERGY CODE, PLUMBING CODE, MECHANICAL CODE, AND ALL LOCAL MUNICIPAL ORDINANCES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER IMMEDIATELY.
3. PROPERTY LINES SHOWN ARE BASED ON THE PROVIDED SURVEY. CONTRACTOR SHALL VERIFY BOUNDARIES AND ENSURE NO WORK ENCROACHES ONTO ADJACENT PROPERTIES WITHOUT PROPER APPROVAL.
4. ALL GRADES ARE SHOWN IN FEET ABOVE MEAN SEA LEVEL, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL MAINTAIN PROPER PITCH AWAY FROM STRUCTURES (MINIMUM 2% SLOPE).
5. ALL UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION (CALL 811). ANY UNKNOWN UTILITIES ENCOUNTERED SHALL BE REPORTED IMMEDIATELY.
6. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCING, STABILIZED CONSTRUCTION ENTRANCE, AND INLET PROTECTION.
7. ALL DISTURBED AREAS OUTSIDE OF BUILDING FOOTPRINT SHALL BE RESTORED TO ORIGINAL CONDITION OR STABILIZED WITH TOPSOIL AND SEED UNLESS OTHERWISE NOTED.
8. ALL WORK SHALL CONFORM TO ADA AND NYS ACCESSIBILITY REQUIREMENTS, INCLUDING SLOPES, CROSS-SLOPES, LANDINGS, DETECTABLE WARNINGS, AND ACCESSIBLE ROUTES.
9. CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE, STRIPING, AND MARKINGS IN ACCORDANCE WITH LOCAL STANDARDS AND MUTCD WHERE APPLICABLE.
10. ALL STORMWATER MANAGEMENT SYSTEMS—including BIOSWALES, GREEN ROOFS, FILTERS, SUBSURFACE CHAMBERS, PERMEABLE PAVEMENTS, AND OUTFALLS—SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS AND LOCAL STORMWATER REGULATIONS.
11. ROOF DRAINAGE SHALL BE DIRECTED TO APPROVED STORMWATER FACILITIES AND SHALL NOT DISCHARGE DIRECTLY ONTO SIDEWALKS, DRIVEWAYS, OR ADJACENT PROPERTIES.
12. TREE PROTECTION FENCING SHALL BE INSTALLED AROUND ALL EXISTING VEGETATION TO REMAIN, AT THE DRIPLINE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
13. CONTRACTOR SHALL PROVIDE SAFE PEDESTRIAN ACCESS AND TRAFFIC CONTROL THROUGHOUT CONSTRUCTION IN ACCORDANCE WITH OSHA AND LOCAL DPW REQUIREMENTS.
14. ALL SITE LIGHTING SHALL BE FULL CUTOFF FIXTURES WITH NO LIGHT SPILLOVER ONTO ADJACENT PROPERTIES. LIGHTING CALCULATIONS ARE REQUIRED WHERE NOTED.
15. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS (WATER, SANITARY, ELECTRIC, GAS, TELECOM) WITH THE APPROPRIATE AUTHORITIES PRIOR TO INSTALLATION.
16. ANY CHANGES AFFECTING SITE DRAINAGE OR GRADING SHALL BE APPROVED BY THE ARCHITECT/ENGINEER BEFORE IMPLEMENTATION.
17. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE ON A REGULAR BASIS. DUMPING ON ADJACENT LAND IS STRICTLY PROHIBITED.
18. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE INSTALLED PER ADA AND NYS STANDARDS, WITH SIGNAGE AND PAVEMENT SYMBOLS.
19. ALL CURBING, PAVEMENT, AND SIDEWALKS SHALL CONFORM TO LOCAL DPW STANDARDS. EXPANSION JOINTS, CONTROL JOINTS, AND THICKNESSES SHALL FOLLOW CURRENT SPECIFICATIONS.
20. CONTRACTOR SHALL ENSURE PROPER COMPACTION OF ALL FILLS, FOLLOWING GEOTECHNICAL RECOMMENDATIONS OR LOCAL CODE REQUIREMENTS.
21. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS BEFORE WORK BEGINS AND THROUGHOUT CONSTRUCTION.
22. NO SUBSTITUTIONS OR MATERIAL CHANGES SHALL BE MADE WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER AND OWNER.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AT ALL TIMES IN ACCORDANCE WITH OSHA AND NYS LABOR LAW.
24. SITE FEATURES, GRADES, AND DIMENSIONS SHOWN FOR REFERENCE ONLY. FINAL LAYOUT SHALL BE STAKED IN THE FIELD BY A LICENSED SURVEYOR.
25. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AT PROJECT COMPLETION SHOWING FINAL LOCATIONS OF UTILITIES, STORMWATER SYSTEMS, GRADES, AND SITE IMPROVEMENTS.

ADA NOTES - SITE PLAN

1. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH THE 2020 NEW YORK STATE BUILDING CODE AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
2. ACCESSIBLE ROUTES SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 36".
3. RUNNING SLOPES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 1:20 (5%).
4. CROSS SLOPES ON ACCESSIBLE ROUTES SHALL NOT EXCEED 1:48 (2%).
5. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%) AND SHALL INCLUDE LEVEL LANDINGS AT THE TOP AND BOTTOM.
6. RAMP LANDINGS SHALL BE A MINIMUM OF 60" LONG AND AS WIDE AS THE RAMP.
7. A LANDING SHALL BE PROVIDED FOR EVERY 30" (2 FT 6 IN) OF VERTICAL RISE.
8. HANDRAILS ARE REQUIRED ON BOTH SIDES OF RAMPS WHERE THE RISE EXCEEDS 6".
9. ACCESSIBLE CURB RAMPS SHALL HAVE A SLOPE NOT EXCEEDING 1:12 AND SHALL INCLUDE DETECTABLE WARNING SURFACES.
10. ACCESSIBLE PARKING SPACES SHALL COMPLY WITH NYSBC TABLE 1106.1 FOR STALL COUNT AND VAN SPACINGS.
11. ACCESSIBLE PARKING SPACES SHALL BE A MINIMUM OF 8'-0" WIDE WITH AN ADJACENT 5'-0" WIDE ACCESS AISLE (VAN SPACES: 8'-0" AISLE).
12. PARKING ACCESS AISLES SHALL BE STRIPED AND SHALL BE LEVEL WITH A SLOPE NOT EXCEEDING 1:48 (2%).
13. ACCESSIBLE ROUTE SHALL CONNECT ALL ACCESSIBLE ENTRANCES, PARKING SPACES, PASSENGER LOADING ZONES, AND PUBLIC SIDEWALKS.
14. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED AT A SLOPE NOT EXCEEDING 1:2; CHANGES OVER 1/2" REQUIRE A RAMP.
15. DOORS ALONG ACCESSIBLE ROUTES SHALL PROVIDE A MINIMUM CLEAR OPENING OF 32".
16. ALL SITE AND BUILDING SIGNAGE FOR ACCESSIBILITY SHALL COMPLY WITH ADA SECTION 703 (VISUAL CHARACTERS, TACTILE CHARACTERS, MOUNTING HEIGHTS).



DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

FITNESS CENTER & CANOE CLUB

PROJECT INFORMATION:

PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025
SCALE: 1" = 40'

GENERAL NOTES

C-102

PAGE: 02 OF 08

ABBREVIATIONS

GENERAL / CONSTRUCTION:

AFF – ABOVE FINISHED FLOOR
CL – CENTERLINE
NIC – NOT IN CONTRACT
NTS – NOT TO SCALE
SIM – SIMILAR
TYP – TYPICAL
VIF – VERIFY IN FIELD

SITE / CIVIL:

BC	– BOTTOM OF CURB	OC	– ON CENTER
BLDG	– BUILDING	PAVT	– PAVEMENT
CB	– CATCH BASIN	PROP	– PROPOSED
DW	– DRIVEWAY	ROW	– RIGHT OF WAY
EG	– EXISTING GRADE	SD	– STORM DRAIN
EX	– EXISTING	SW	– SIDEWALK
FG	– FINISHED GRADE	TC	– TOP OF CURB
HYD	– HYDRANT	WM	– WATER MAIN
MH	– MANHOLE		

ARCHITECTURAL / STRUCTURAL:

BM	— BEAM
BRG	— BEARING
CJ	— CONTROL JOINT
EJ	— EXPANSION JOINT
FTG	— FOOTING
COL	— COLUMN
OC	— ON CENTER
PT	— POINT
SLAB	— CONCRETE SLAB
TOC	— TOP OF CONCRETE
TOS	— TOP OF STEEL
UNO	— UNLESS NOTED OTHERWISE

ACCESSIBILITY / ADA:

ADA – AMERICANS WITH DISABILITIES ACT
HC – HANDICAP (LEGACY TERM FOR PARKING STRIPING)
VAN – VAN-ACCESSIBLE SPACE

UTILITIES / MEP:

ELEC – ELECTRIC
TEL – TELEPHONE
COM – COMMUNICATIONS
GAS – GAS LINE
SAN – SANITARY SEWER
STM – STORM SEWER
FD – FLOOR DRAIN
HVAC – HEATING / VENTILATION / AIR CONDITIONING

ZONING DATA

ADDRESS: 2 GARNER LANE
BAY SHORE, NY 11709

SCTM: 500-418-3-30

ZONE BUSINESS 1

USE: HEALTH CLUB

PERMITTED USE: CAFE

DIMENSIONAL REQUIREMENTS

ITEM	REQUIRED	PROPOSED
MINIMUM LOT AREA	7500 SF	209088 SF
MINIMUM LOT WIDTH	65 FT	322 FT
FRONT YARD	10 FT	282.2 FT
REAR YARD	10 FT	42 FT
SIDE YARD	25 FT	25FT
SIDE YARD (GARNER LANE)	50 FT	337.8 FT
SIDE YARD (LAKE)	25 FT	42 FT
RESIDENTIAL BUFFER	25 FT	25 FT
MAX HEIGHT	35 FT	31 FT
F.A.R.	0.40	0.04

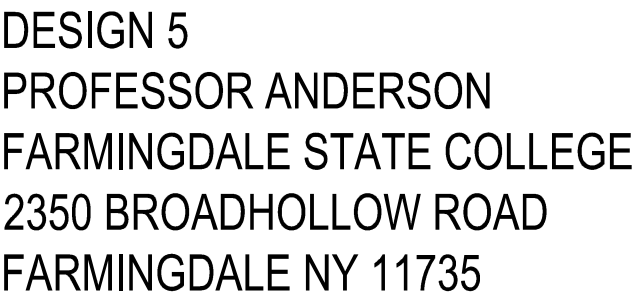
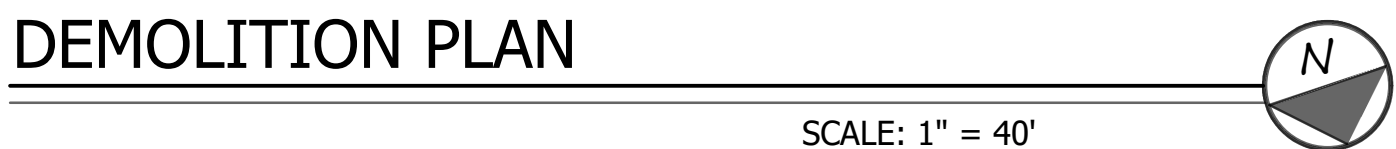
PARKING REQUIREMENTS

ITEM	REQUIRED	PROPOSED
MINIMUM PARKING SPACES	73	73
MINIMUM A.D.A. PARKING SPACES	1 PER 25	3

1. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
2. VERIFY ALL EXISTING CONDITIONS ON SITE PRIOR TO STARTING DEMOLITION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL PROTECT ALL EXISTING ELEMENTS DESIGNATED TO REMAIN. ANY DAMAGE TO EXISTING CONDITIONS NOT SCHEDULED FOR DEMOLITION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING AT ALL TIMES DURING DEMOLITION.
5. ALL DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
6. REMOVE ALL INTERIOR WALLS, CEILINGS, DOORS, FIXTURES, AND FINISHES AS INDICATED ON THE DEMOLITION PLAN.
7. WHERE WALLS ARE REMOVED, PATCH ADJACENT SURFACES (FLOOR, WALL, CEILING) TO MATCH EXISTING CONDITIONS UNLESS NOTED OTHERWISE.
8. SAWCUT AND REMOVE FLOORING AS NEEDED TO ALLOW FOR NEW PLUMBING AND ELECTRICAL WORK. PATCH FLOOR SLAB AFTER WORK IS COMPLETE.
9. CAP ALL ABANDONED PLUMBING AND ELECTRICAL LINES AT THEIR SOURCE.
10. COORDINATE WITH RESPECTIVE TRADES.
11. COORDINATE DEMOLITION OF EXISTING OPENINGS, FRAMES, AND GLAZING WITH NEW WORK. PROTECT STRUCTURAL HEADERS WHERE REQUIRED.
12. DISCONNECT, LOCK OUT, AND TAG ALL UTILITIES SERVING AREAS TO BE DEMOLISHED PRIOR TO BEGINNING WORK.
13. NOTIFY UTILITY COMPANIES OF DEMOLITION WORK AS REQUIRED. CONFIRM SHUT-OFF PRIOR TO DEMOLITION.
14. PROVIDE TEMPORARY BRACING OR SHORING AS REQUIRED TO MAINTAIN SAFE CONDITIONS.
15. DUST, NOISE, AND VIBRATION CONTROL MEASURES SHALL BE IN PLACE DURING ALL DEMOLITION ACTIVITIES.

- ALL EXISTING BUILDINGS TO BE DEMOLISHED
- REMOVE AND DISPOSE OF ALL BUILDING FOUNDATIONS
- REMOVE AND DISPOSE OF ANY EXISTING CONCRETE
- SCRUB ENTIRE SITE

	EXISTING BUILDING		REMOVED BUILDING
	EXISTING TREE		REMOVED TREE
	EXISTING ASPHALT		REMOVED ASPHALT
	PROPERTY LINE		CONTOUR LINE



PROJECT INFORMATION:

PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025
SCALE: 1" = 40'

DEMOLITION PLAN

C-103

EXISTING BUILDING

EXISTING TREE

PROPOSED BUILDING

PROPOSED PERMIABLE PAVERS

PROPERTY LINE

SETBACK LINE

EXISTING CONTOURS

PROPOSED CONTOURS

WATER LINE

ZONING DATA

ADDRESS:

2 GARNER LANE
BAY SHORE, NY 11709

SCTM:

500-418-3-30

ZONE

BUSINESS 1

PERMITTED USE:

RESTAURANT AND
FITNESS CENTER

OWNER INFO

OWNER:

CONFLUENCE FITNESS

ADDRESS:

2 GARNER LANE
BAY SHORE, NY 11709

BULK REQUIREMENTS

REQUIRED	ITEM	PROPOSED
MINIMUM LOT AREA	7500 SF	209088 SF
MINIMUM LOT WIDTH	65 FT	322 FT
FRONT YARD	10 FT	282.2 FT
REAR YARD	10 FT	42 FT
SIDE YARD	25 FT	25FT
SIDE YARD (GARNER LANE)	50 FT	337.8 FT
SIDE YARD (LAKE)	25 FT	42 FT
RESIDENTIAL BUFFER	25 FT	25 FT
MAX HEIGHT	35 FT	31 FT
F.A.R.	0.40	0.04

PARKING REQUIREMENTS

REQUIRED	ITEM	PROPOSED
MIN. PARKING SPACES	73	73
MIN. A.D.A. SPACES	1 PER 25	3

PROPOSED 2 STORY
FITNESS CENTER
8,350 SF
FFE: 7.5'

LAWRENCE LAKE

LINE OF LAKE

N/F RES. AAA

448.00'

381.00'

56.00'

43.00'

N/F BUS. 1

322.00'

MONTAUK HWY.

434.00'

GARNER LANE

60.00'

54.00'

SCALE: 1" = 40'

SCALE: 1" = 40'-0"

DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

FITNESS CENTER & CANOE CLUB

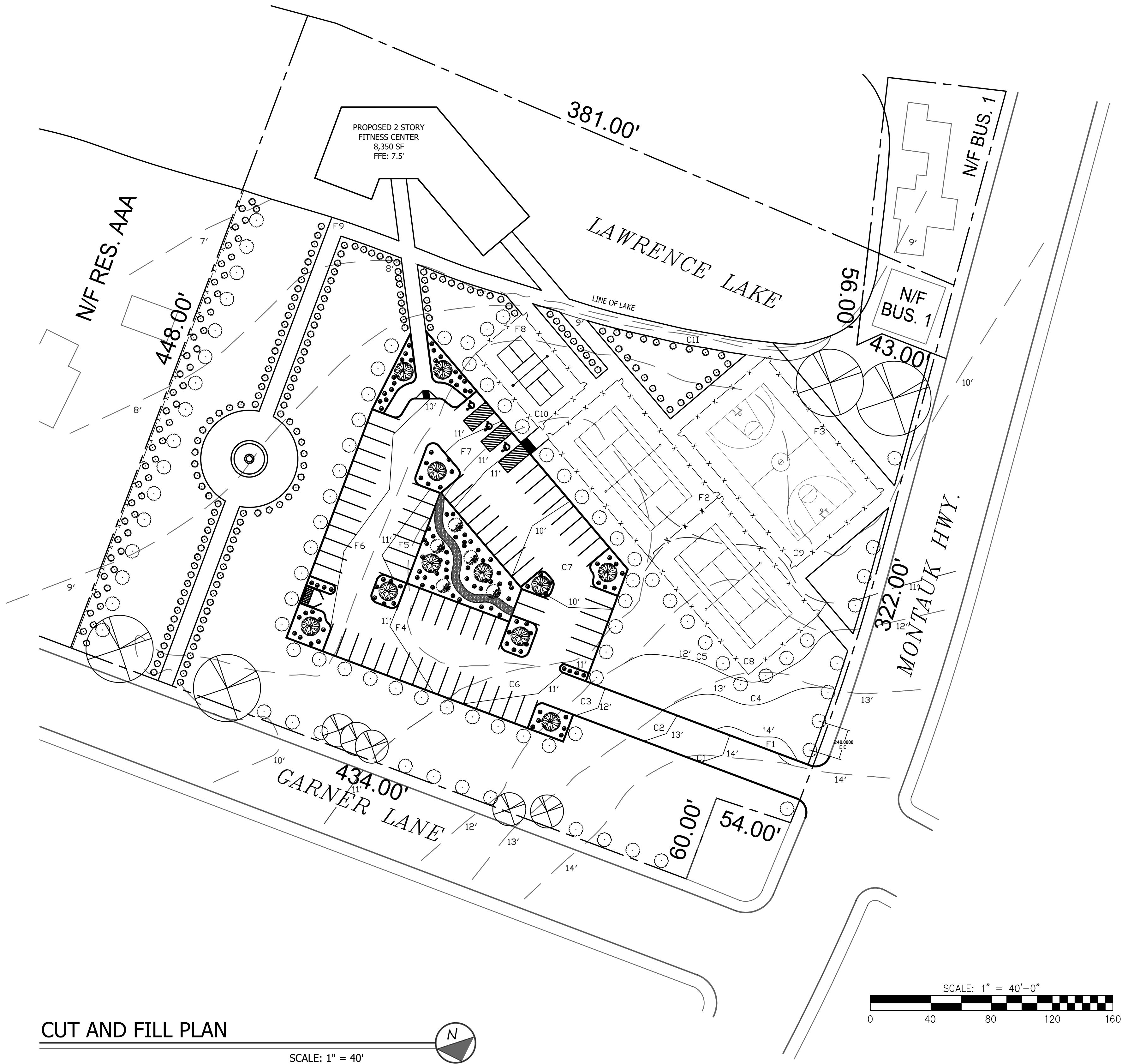
PROJECT INFORMATION:
PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DECV2025
SCALE: 1" = 40'

PROPOSED SITE PLAN

C-104

PAGE: 04 OF 08

CUT AND FILL CALCULATIONS				
CUT		FILL		
C1	48	F1		728
C2	286	F2		4106
C3	296	F3		4128
C4	1000	F4		1362
C5	4570	F5		890
C6	1158	F6		2250
C7	2645	F7		1188
C8	5475	F8		2592
C9	4364	F9		2755
C10	2215			
C11	872			
TOTAL CUT (CF)	22929	TOTAL FILL (CF)		19999
TOTAL CUT (CY)	849.2	TOTAL FILL (CY)		740.7
EXCESS CUT (CY)	105.5			



DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

FITNESS CENTER & CANOE CLUB

PROJECT INFORMATION:
PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025
SCALE: 1" = 40'

CUT & FILL

C-105

	SEPTIC TANK							LEACHING POOL					divide by 6ft EF	Rounded Expansion Total Leaching					
	GFA	HYDRAULIC LOAD	LEACHING RATE	SF/VF	ALLOWABLE SANITARY	ACTUAL SANITARY	2 DAY REQ.	DIA(8',10',12')	MAX LIQUID	GPF (300,500,750)	VOLUME	VOLUME FOR 2 DAYS					REQ. SIDE WALL	SIDE WALL	REQ. DEPTH
Fitness Center/Canoe	6580	0.3	1.5	31.42	2244	1974	3948	10'	6	500.0	3000	6000	1316	31.42	41.9	6.98	8	3	11
Café	1800	0.15	1.5	31.42		270	540	10'	6	500.0	3000	6000	180	31.42	5.7	0.95	2	1	3
2244																			
Ground water management ACRE	600	gpa																	
	3.75																		

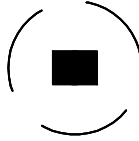
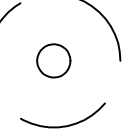
Permeable Pavement (option)
1LF capacity of a leaching pool in CF

12'-0" diameter lp 100.83

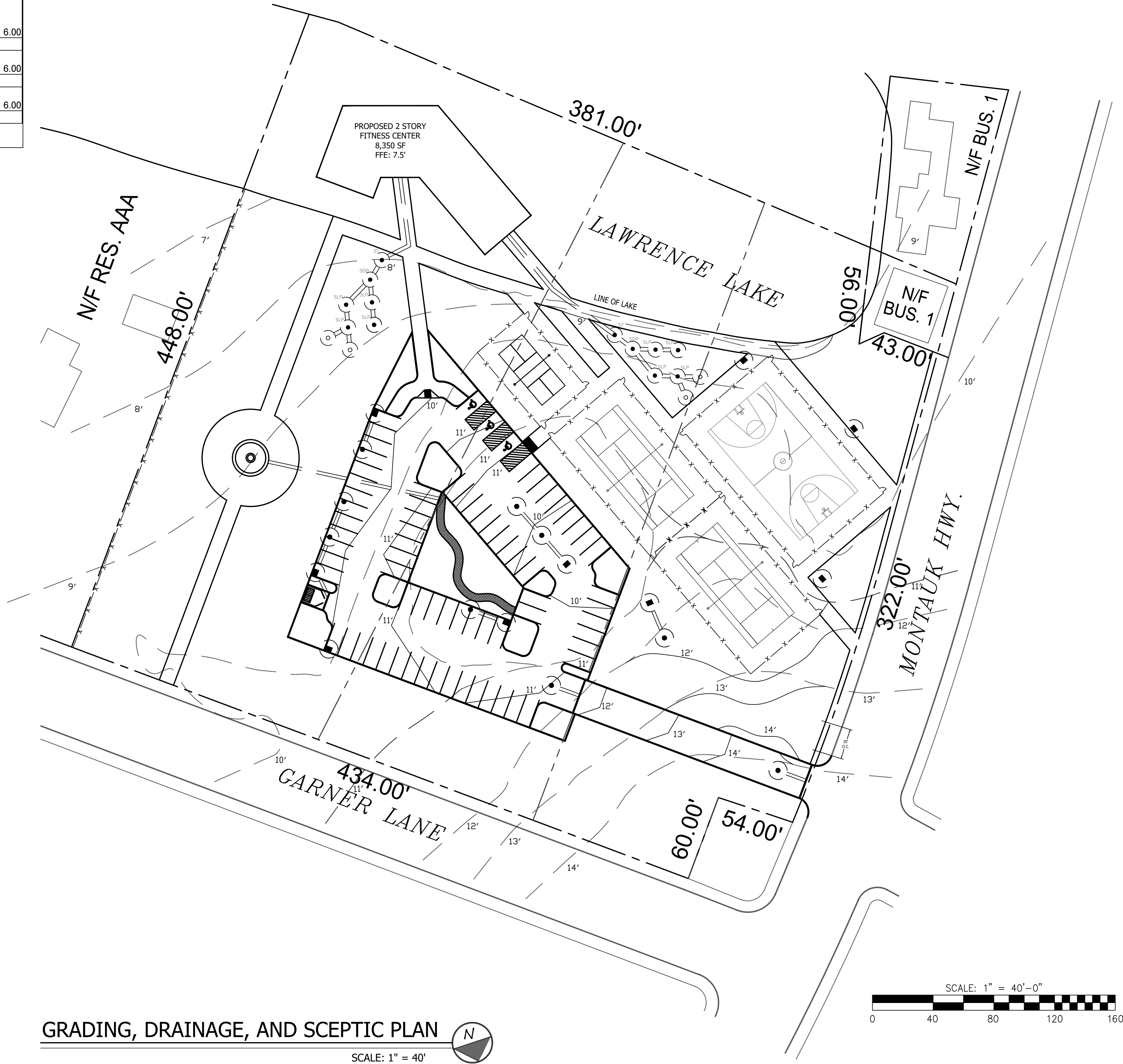
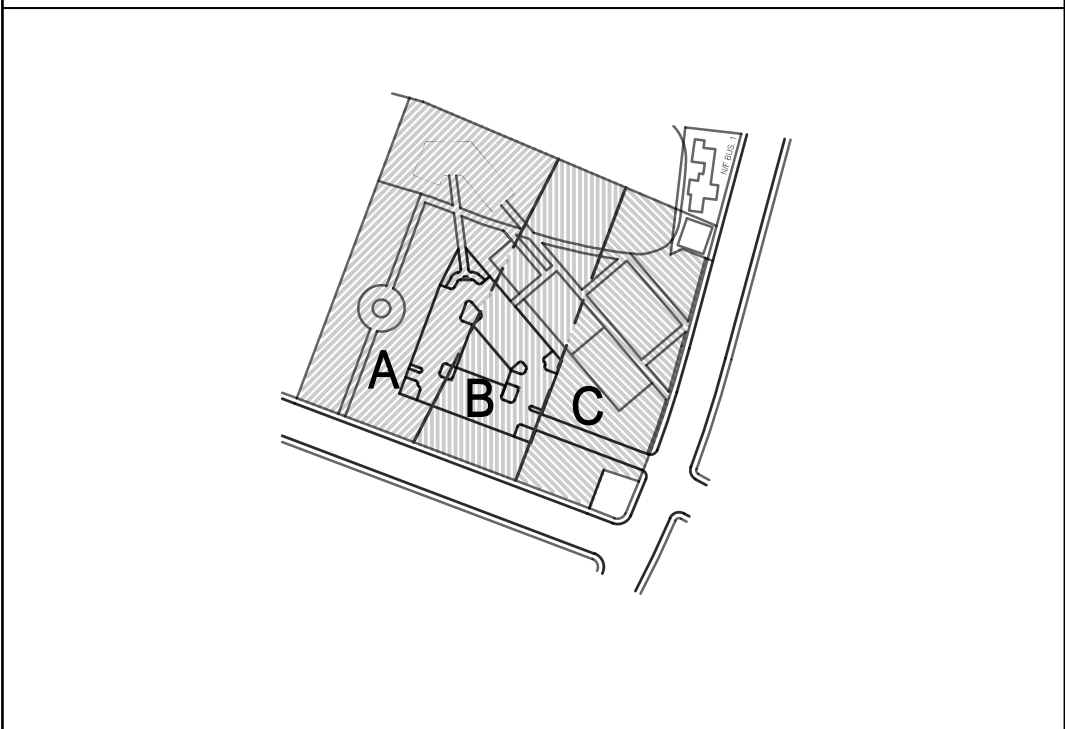
Area	Surface Material	C	i	Tributary Area (SF)	Storage Req'd (CF)	Total Storage Req'd (CF)	12' Dia LP Pool Total Depth Req'd (LF)	Qty of 8'H 12' Dia LPs Proposed	Qty of 8'H 12' Dia LPs Proposed - Rounded-up
A	Pavement	0.7	0.17	12280.00	1461	4301	42.66	5.33	6.00
	Landscape	0.3	0.17	49350.00	2517				
	Roof	1	0.17	1900.00	323				
B	Pavement	0.7	0.17	26340.00	3134	4050	40.17	5.02	6.00
	Landscape	0.3	0.17	17960.00	916				
C	Pavement	0.7	0.17	25900.00	3082	4515	44.78	5.60	6.00
	Landscape	0.3	0.17	28100.00	1433				

Total Area 161830.00 SF

SYMBOL LEGEND

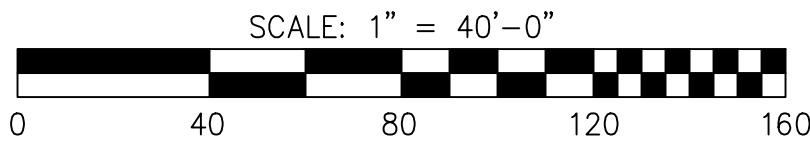
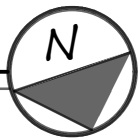
	DRAINAGE INLET		SEPTIC TANK
	DRAINAGE LEECHING POOL		SEPTIC LEECHING POOL
	TRENCH DRAIN		50% EXPANSION POOL

TRIBUTARY AREA DIAGRAM



GRADING, DRAINAGE, AND SCEPTIC PLAN

SCALE: 1" = 40'



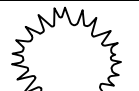
DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

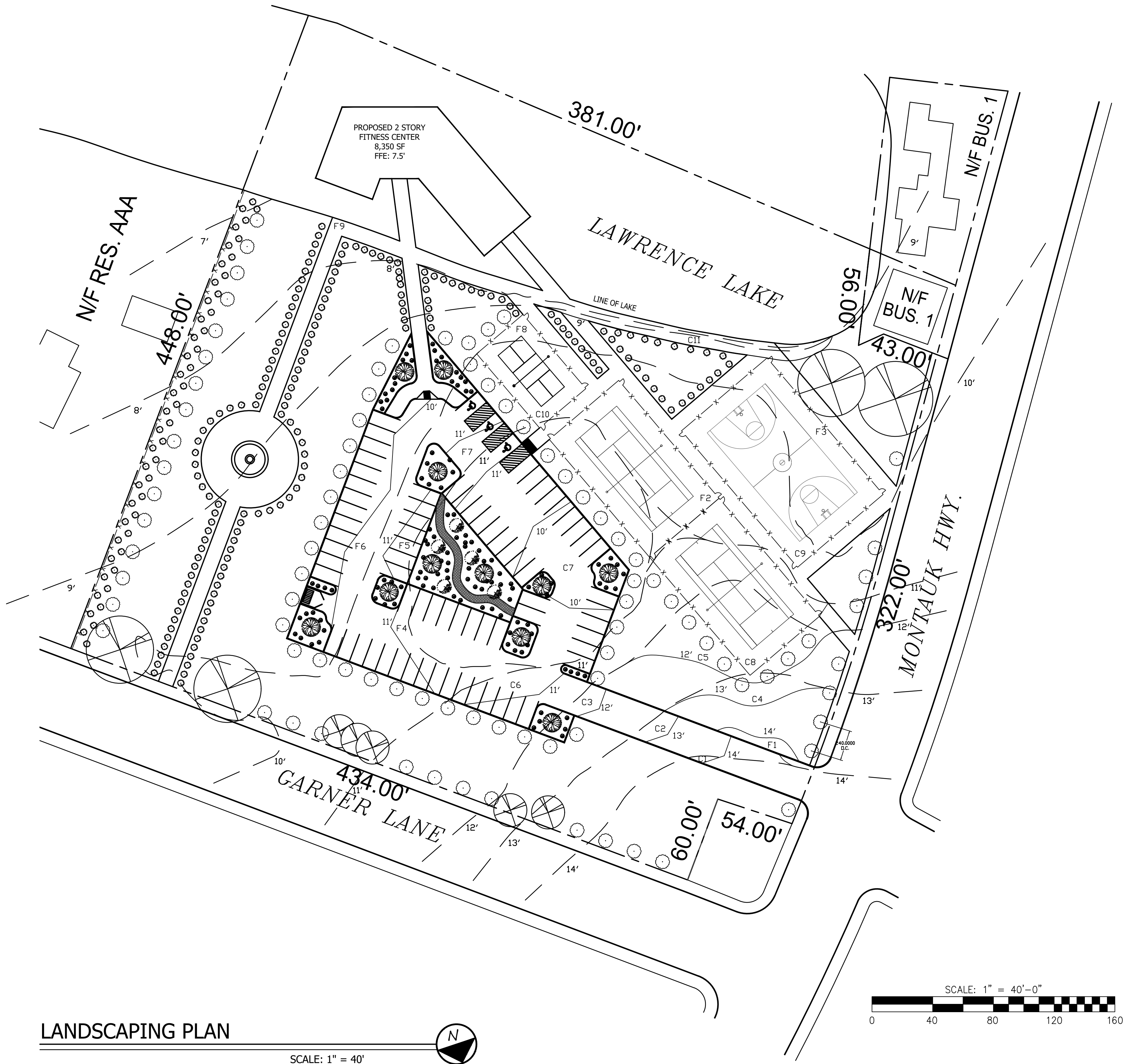
FITNESS CENTER
& CANOE CLUB

PROJECT INFORMATION:
PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025
SCALE: 1" = 40'

GRADING, DRAINAGE, & SEPTIC PLAN

C-106

LANDSCAPE SCHEDULE				
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	166	TAXUS CUSPIDATA 'NANA'	DWARF JAPANESE YEW	18-24"
	5	PINUS STROBUS	EASTERN WHITE PINE	6-8'
	88	ULMUS AMERICANA LIBERTY	LIBERTY ELM	3-1/2" CAL.
	9	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	4'-6'
	120	IRIS VERSICOLOR	BLUE FLAG IRIS	24"-36"



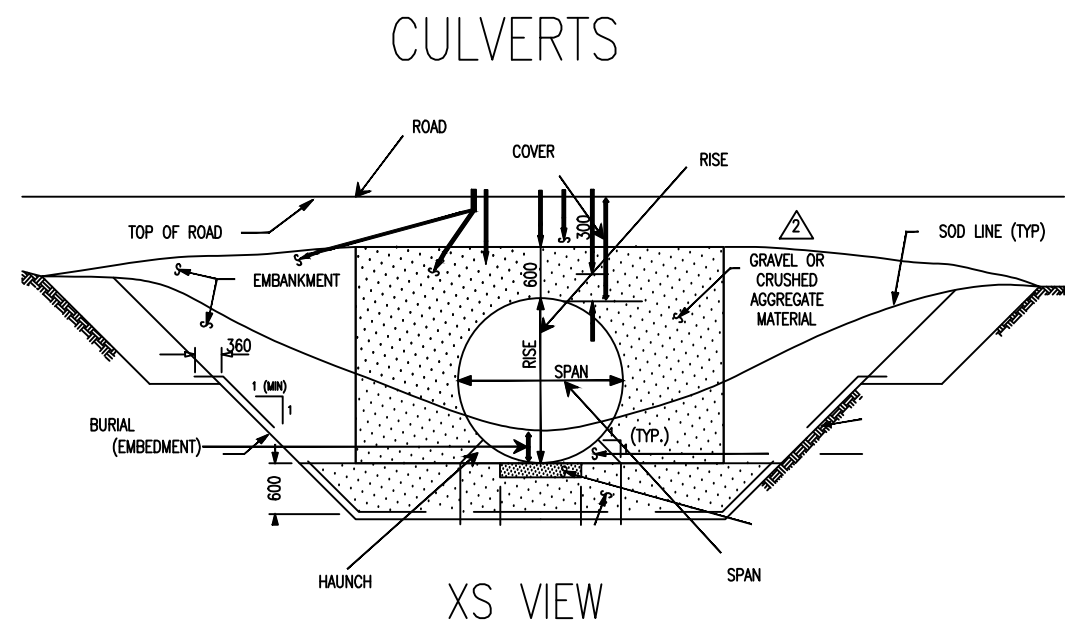
DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

FITNESS CENTER & CANOE CLUB

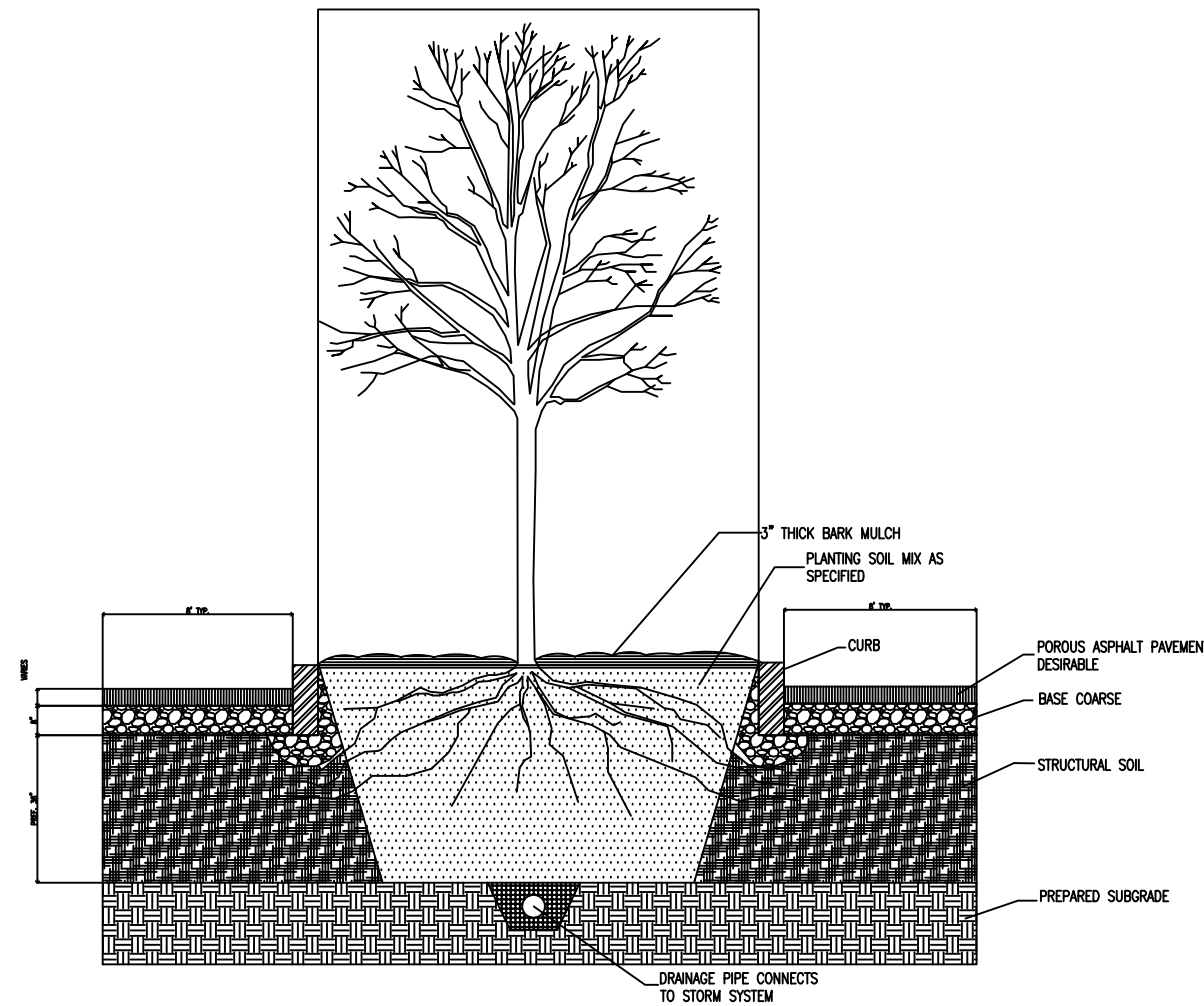
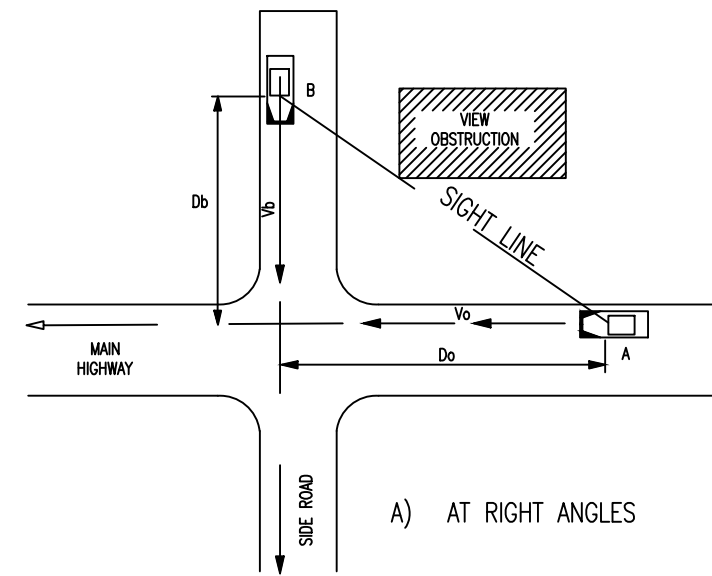
PROJECT INFORMATION:
PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025
SCALE: 1" = 40'

LANDSCAPING PLAN

C-107



Va- APPROACH SPEED ON MAIN HIGHWAY
Vb- APPROACH SPEED ON SIDE ROAD
Da- APPROACH DISTANCE ON MAIN HIGHWAY
Db- APPROACH DISTANCE ON SIDE ROAD

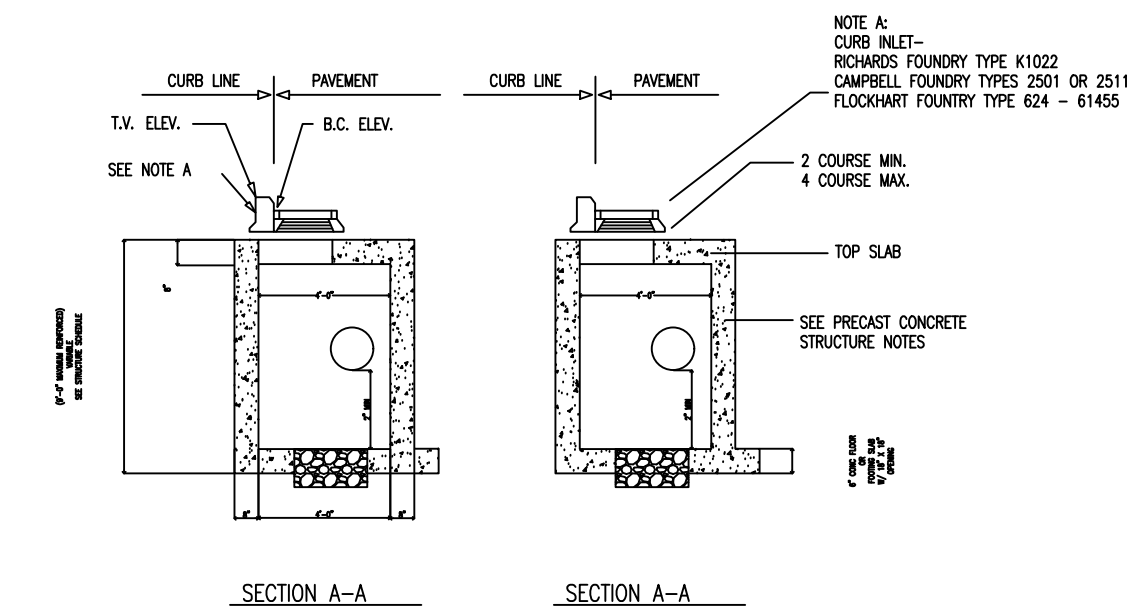


DECIDUOUS TREES, 2 1/2" CAL., 20' O.C. RED OAK, PIN OAK, POST OAK, MAPLE VARIETIES, LITTLE LEAF LINDENS, LONDON PLANE TREES, ARISTOCRAT AND BRADFORD PEARS, THORNLESS HONEY LOCUST ETC. SUBSTITUTIONS AND ALTERNATES MAY BE ACCEPTED

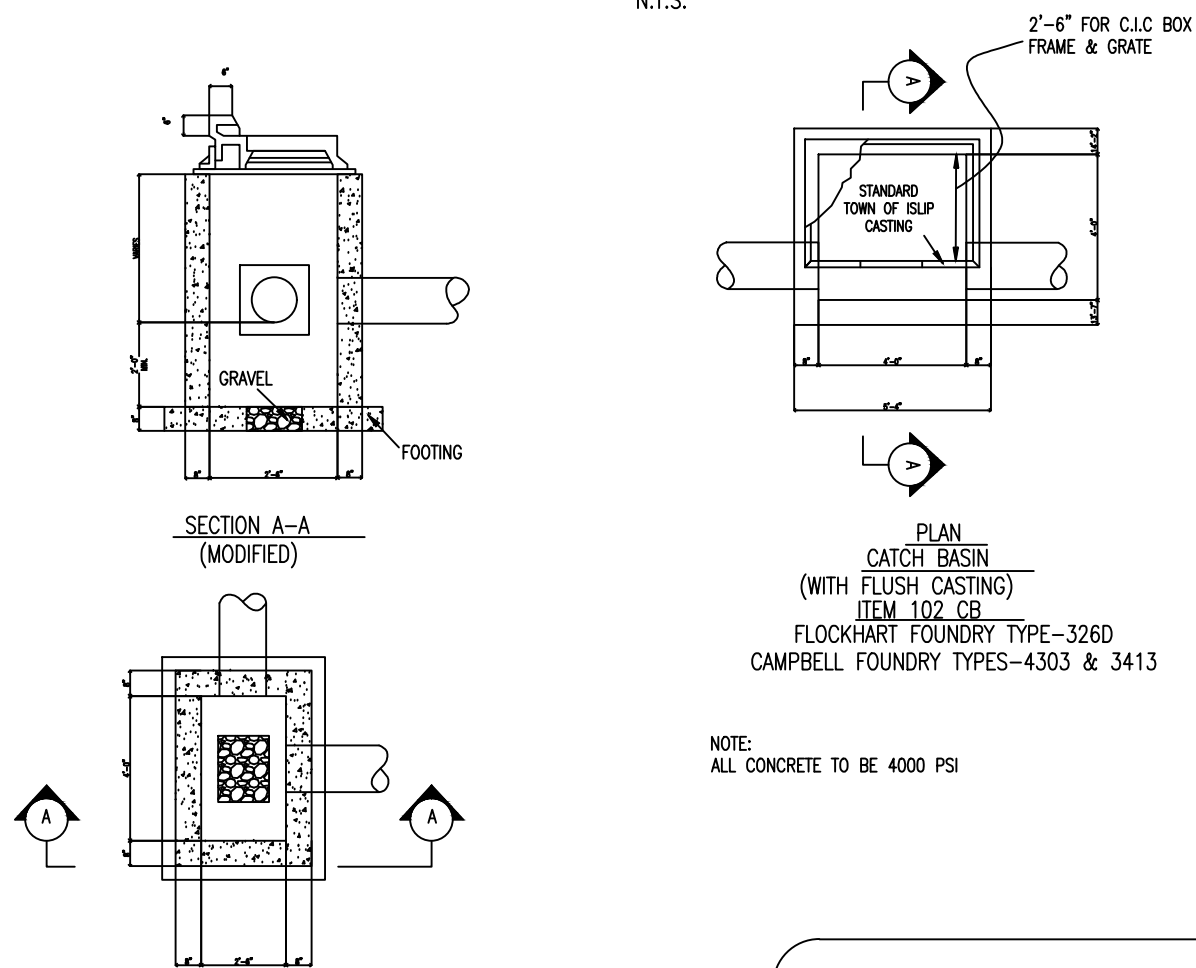
TOPSOIL/SEED

6' CHAIN LINK FENCE W/ No. 1 CEDAR STOCKADE ATTACHED, 106W / 107

DOUBLE ROW OF 61 EVERGREENS, PLACED IN A SAWTOOTHED PATTERN, 5'-7' SPACING. MIX OF; ARBORVITAE, JUNIPERS, / LEYLAND CYPRESS, DOUGLAS FIR, HOLLY, SPRUCE, WHITE PINES ETC. SUBSTITUTIONS AND ALTERNATES MAY BE ACCEPTED FOR REVIEW AND APPROVAL.



CATCH BASIN-ITEM 102 CB
N.T.S.

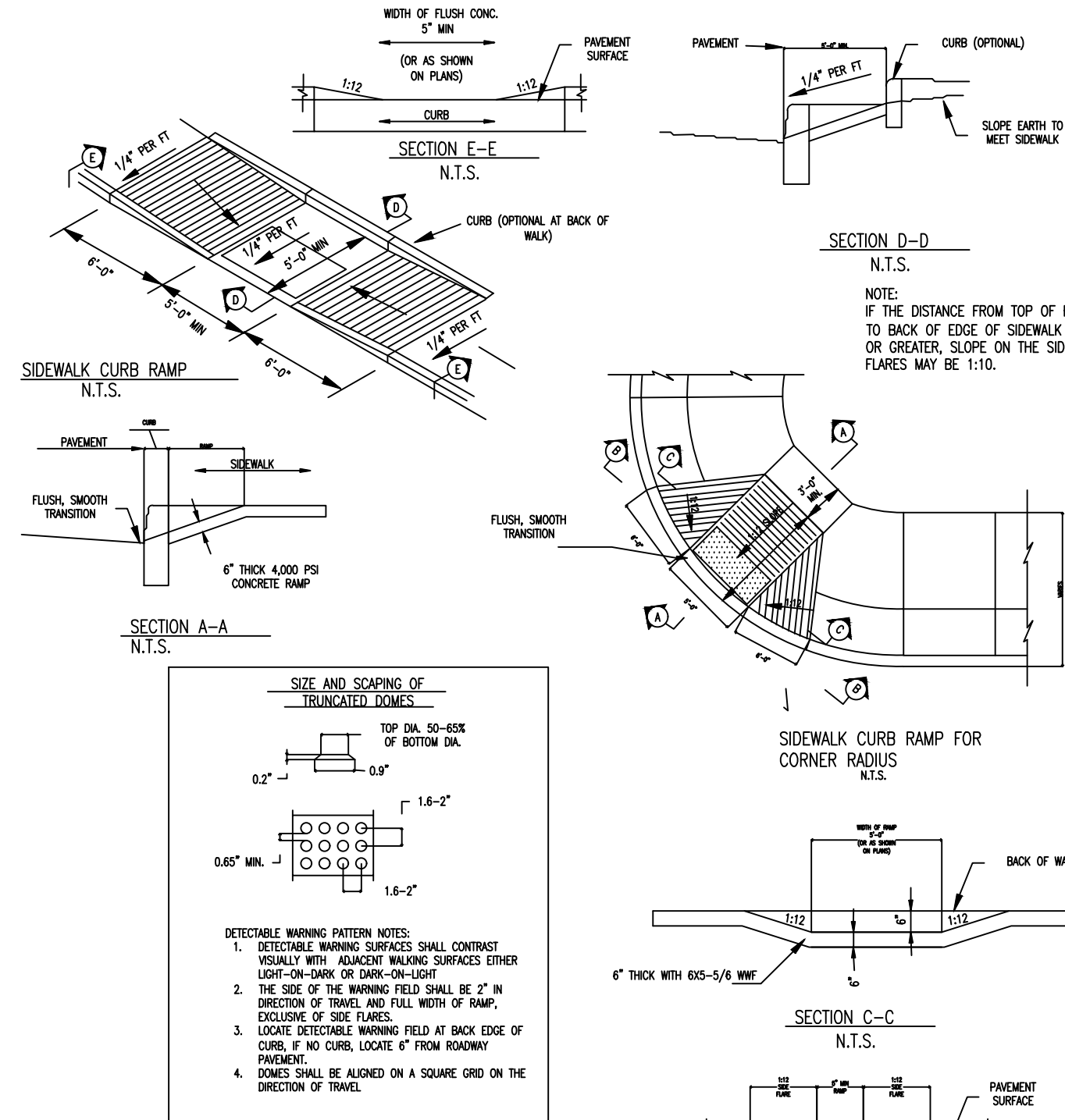


CATCH BASIN TYPE A
ITEM 102 CB (MODIFIED)

NOTE:
ITEM 102 CB (MODIFIED) SHALL BE USED WITH APPROVAL OF THE TOWN ENGINEER FOR SPECIAL UTILITY CLEARANCE AND SIMILAR SPECIAL CIRCUMSTANCES

CONSTRUCTION STANDARDS

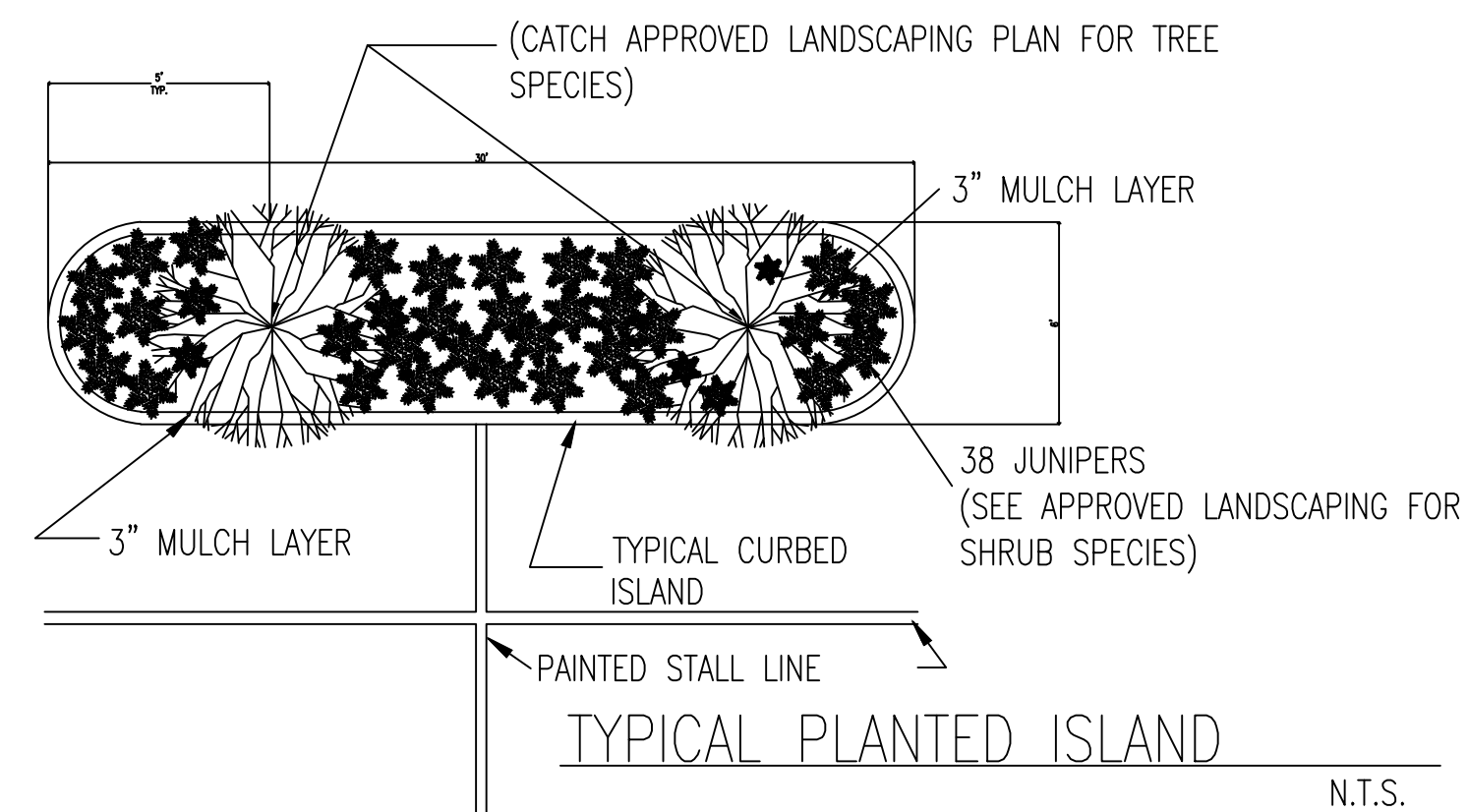
CATCH BASIN
ITEM 102 CB &
ITEM 102 CB MODIFIED



- NOTES:
1. CURB CUT RAMP TYPE AND LOCATION ARE TO BE AS SHOWN
 2. SURFACE TEXTURE OF RAMP SHALL BE DEEP GROVE, 1/2" WIDE BY 1/4" DEEP, 1" CENTERS TRANSVERSE TO THE RAMP.
 3. THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 4. WHEN THE INTERSECTION CONTAINS PEDESTRIAN ACTIVATED SIGNALS, MAKE PROVISIONS FOR A PERSON IN A WHEELCHAIR TO ACTIVATE SIGNAL WITHOUT STOPPING ON RAMP.
 5. STOP LINES ARE TO BE PROVIDED IN ADVANCE OF WHEELCHAIR RAMPS.
 6. WHERE FEASIBLE, PROVIDE FOR DRAINAGE PICK-UPS IMMEDIATELY UPSTREAM FROM THE RAMP. RETICULINE OR RECTANGULAR GRATES ARE TO BE USED IN THE AREA OF RAMPS
 7. MONOLITHIC CURB AND RAMP TO BE PROVIDED P.C. TO P.T.
 8. TACTILE WARNINGS REQUIRED AT ALL DISABILITY CURB CUTS

CONSTRUCTION STANDARDS

SIDEWALK RAMP DETAIL



CONSTRUCTION STANDARDS

TYPICAL PLANTED
ISLAND



DESIGN 5
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

FITNESS CENTER & CANOE CLUB

PROJECT INFORMATION:
PROJECT ADDRESS:
2 GARNER LANE
BAYSHORE, NY 11706
TAX MAP #: 500-418-3-30
DRAWN BY: BRYAN ZADIK
DATE: 17DEC2025

DETAILS

C-108